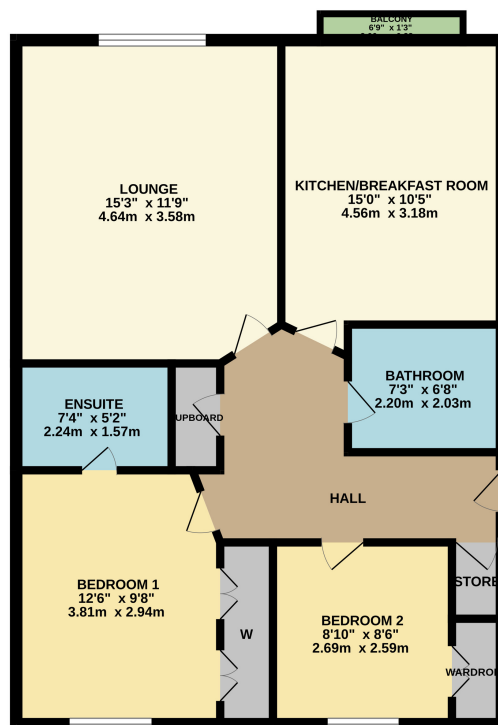




Flat 1, 39 Orissa Drive, Dumbarton, G82 1AB

This modern 2 bedroom flat sits on the entrance ground floor within the popular Appleton Park Estate. The agent is sure that this property will appeal to a wide selection of the buying public, from maturer buyer looking to downsize to the first time buyer stepping onto the property ladder. The interior layout, décor and flooring has to be viewed to fully appreciate the quality on offer.

GROUND FLOOR
743 sq.ft. (69.0 sq.m.) approx.



TOTAL FLOOR AREA : 743 sq.ft. (69.0 sq.m.) approx.

Whilst every attempt has been made to ensure the accuracy of the floorplan contained herein, measurements of doors, windows, notes and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.
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Travel Directions

From the agents office proceed along Castle Street and Terrace to traffic lights at junction of St James Retail Park. Turn right along Glasgow Road, continue under Dumbarton East Railway Bridge and straight through traffic lights at Greenhead Road junction. Take second on right into Appleton Park Estate. Veer left then take right turn into Orissa Drive. Left at T junction, veer right and right again. No 39 is on your left and the flat is located on the ground floor left hand door. Access via door entry system.

Additional Information

Home Report Valuation: £155,000
Council Tax Band: E
Energy Efficiency Rating: C
Double Glazing
Gas Central Heating

Home Report

This property benefits from a Home Report which can be obtained from davidmuirestates.com or onesurvey.org

Disclaimer

These property details are set out as a general outline only and do not constitute any part of an Offer or Contract. All fixtures and fittings mentioned in these particulars are included in the sale. All others in the property are specifically excluded. Photographs are reproduced for general information and it must not be inferred that any item is included for sale with the property. All measurements, distances and areas are approximate and for guidance only.